

2 St Giles Square – 2nd Floor



# Office - 2 St Giles Square

Base Build

## Room Names & Numbers

Office Floor / B.L2.04

## Brief

To provide office space to “base build” standard to be accessed from shared lift lobby and stair core plus access to external balconies as secondary means of escape.

## Architectural

Base build SSL to Soffit: 3.400 m nom.

Base build SSL to U/S of beam:  
2.800m nom.

FFL to Ceiling by tenant 2.650-2.550m  
nom. to notional ceiling line depending on  
design of fit out by others

Occupancy Level: 56= 1 person per10sqm

## Walls

- Fair faced blockwork or unfinished concrete
- Galvanised steel infill sheet to internal face of curtain wall system incorporating nominal recess for single ply dry line by tenant
- 120 & 60 fire resistance. Refer to Fire Strategy Report and Orms FR series for locations.

## Partitions

- Fair faced blockwork and fire rated plaster board partition to fire lobby
- Shaft wall to risers with no finishes. Riser to have 60min. Fire resistance

## Floor

- Exposed concrete slab (internal). Raised floor as part of fit out by Tenant
- External balconies to be laid with stone pavers

## Ceiling

- Exposed steelwork and metal deck soffit
- External soffit to be cladded with brick slips to match adjacent piers

## Doors

- Hardwood frame doors with full height high pressure laminate to door leaf. Riser doors to be in painted finish
- Fire resistance to FR60S.
- Acoustic requirement to 25dB Rw
- Stainless steel ironmongery
- Access Control

## Furniture

N/A

## Signage

Statutory signage only

## Miscellaneous

- Temporary guarding to edge of slab bordering atrium
- Temporary steps and guarding where required
- Temporary guarding to capped services penetrations

## Structural

Refer to appendix

## Mechanical

Refer to appendix

## Electrical

Refer to appendix

## Lighting

Lighting Power	8 W/m2
Lighting Level	400 lux

Landlord Installation

- Temporary general and emergency lighting.

Tenant Installation

- All lighting including general, emergency, decorative and task lighting and associated controls.

## Public Health

Refer to appendix

## Acoustic

For interior noise criteria and any relevant limitations on installed equipment refer to the project acoustic report.

## Security

As part of fit out

## Lifts

Refer to lift specification

## A/V

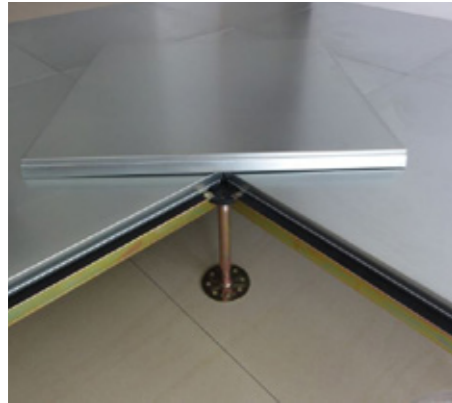
As part of fit out

## Telecoms and television

Capped off services

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Base Build



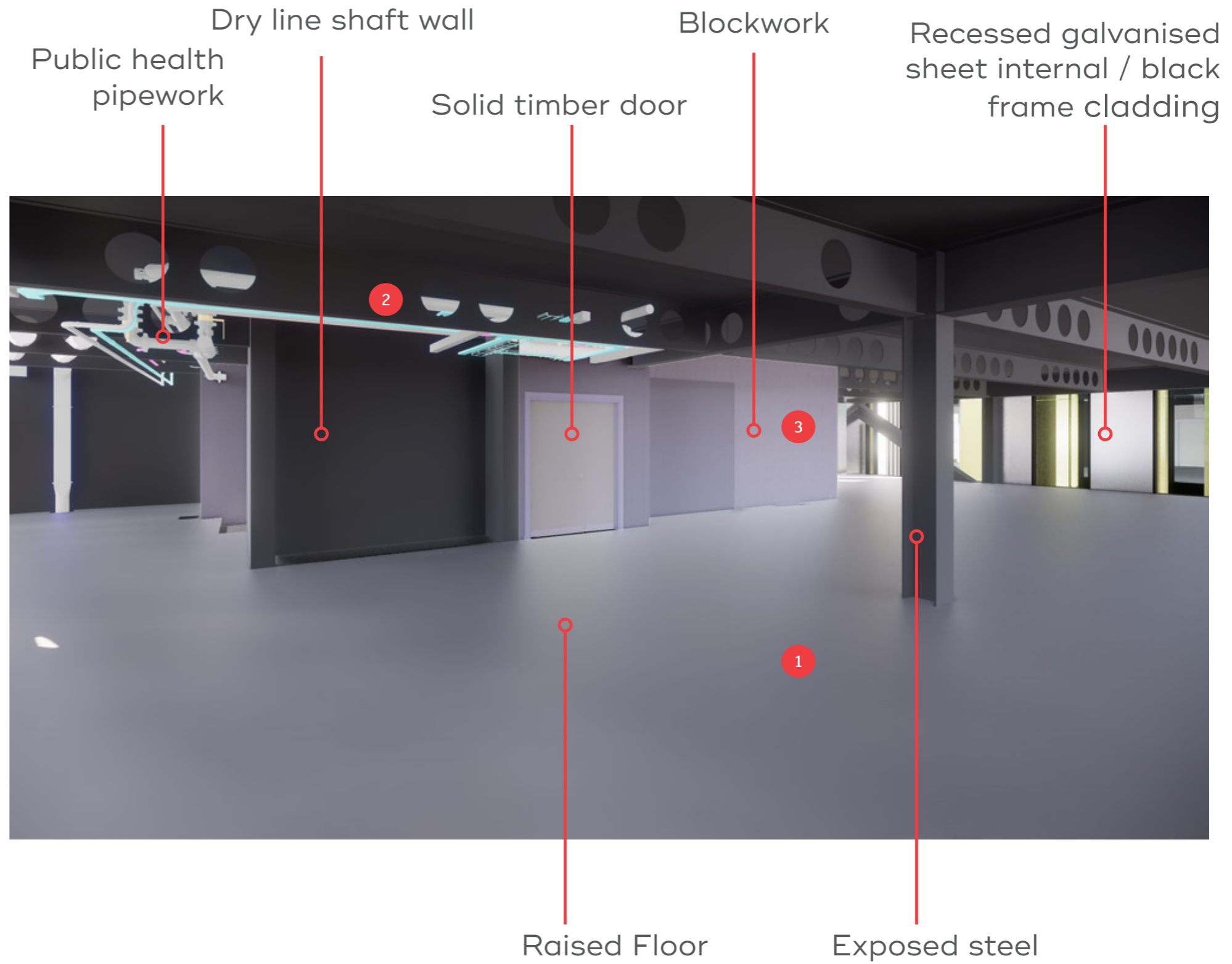
1. Base build Raised floor



2. Base Build beams and soffit



3. Base Build Plasterboard



Public health pipework

Dry line shaft wall

Solid timber door

Blockwork

Recessed galvanised sheet internal / black frame cladding

Raised Floor

Exposed steel

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# Office - 2 St Giles Square

## CAT Fit Out

### **Brief**

- To provide Cat A+ fit out featuring architectural exposed services and finishes around the core plus superloo toilet facilities.

### **Partitions**

Gypsum board partition systems with painted finish

### **Wall finishes**

- No finishes to curtain wall lining - Galvanised finish as BB - finishes by Tenant
- Plasterboard with painted finish
- Valchromat finish
- Refer to toilets section for finishes

### **Floor**

Medium grade Raised access floor

### **Ceiling**

- Expanded metal mesh ceiling where indicated in the architects drawing (PPC finish)
- Refer to toilets section for finishes

### **Doors**

- Full height framed single glazed door with fixed glass panel. Frame to be PPC finish.
- Riser doors finish ..
- Refer to toilets section for finishes

### **Signage**

- Stainless steel floor signage integrated in valchromat panel
- Refer to toilets section for finishes

### **Base build omission**

- Remove the signage panels
- Remove doors to office
- Remove lights in corridor

### **Structural**

Refer to appendix

### **Mechanical**

Refer to appendix

### **Electrical**

Refer to appendix

### **Public Health**

Refer to appendix

### **Acoustic**

Refer to appendix

### **WIFI**

TBC by consultant

### **A/V**

TBC by consultant

### **Security**

TBC by security consultant when appointed

### **Amendments to BB services**

Services coordination

### **Early procurement**

TBC

### **Strip out works**

Main entrance door

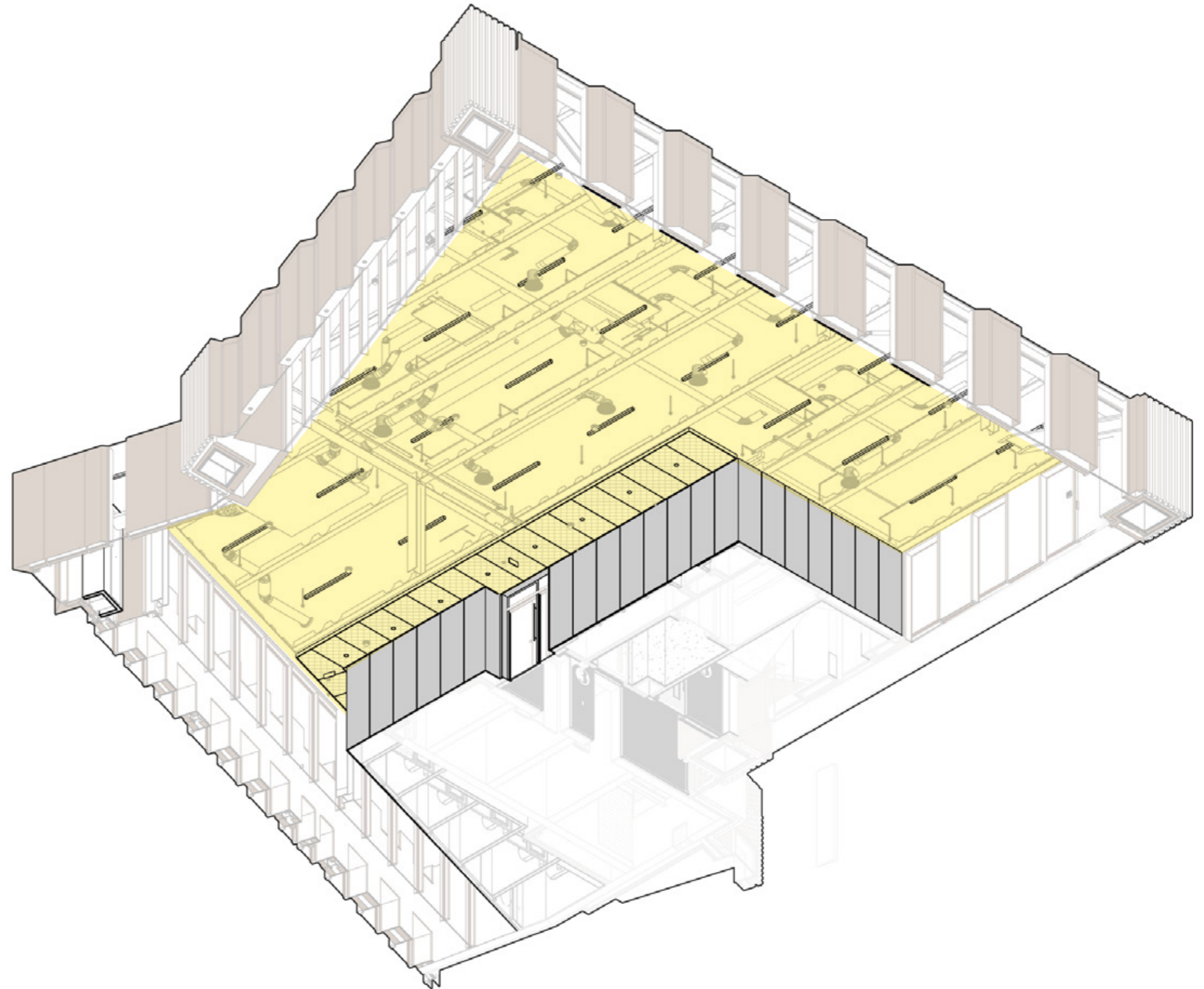
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# Office - 2 St Giles Square

## CAT Fit Out

### Design Principles

- The proposal is creating an **architectural wrap** around the core to unify and rationally the space.
- To keep the look and feel consistent though out the journey of the building the wrap is clad in **black valchromat panels**. These panels are flat not fluted to provide more flexibility to the tenant.
- There are **super loos** and disabled toilets running down the side of the core that have full height valchromat doors to keep a linear and consistent look around the core.
- The design provides an **option for the wrap** to run just across the toilets culminating at the office door.
- There is also a **services bulkhead** that runs around the wrap that contains all the base build services to minimises the visual clutter. It also has integrated lighting.
- **Exposed services** layout is based on minimises the number of cross overs. Its layout is based of ordering the position of the FCU's as well as providing space for meeting rooms and personal office splits.



# GA Plan

Level 2 & 3 - Indicative layout

## Design Criteria

WC Provision based on 1:10 using BS 6465

## Provision

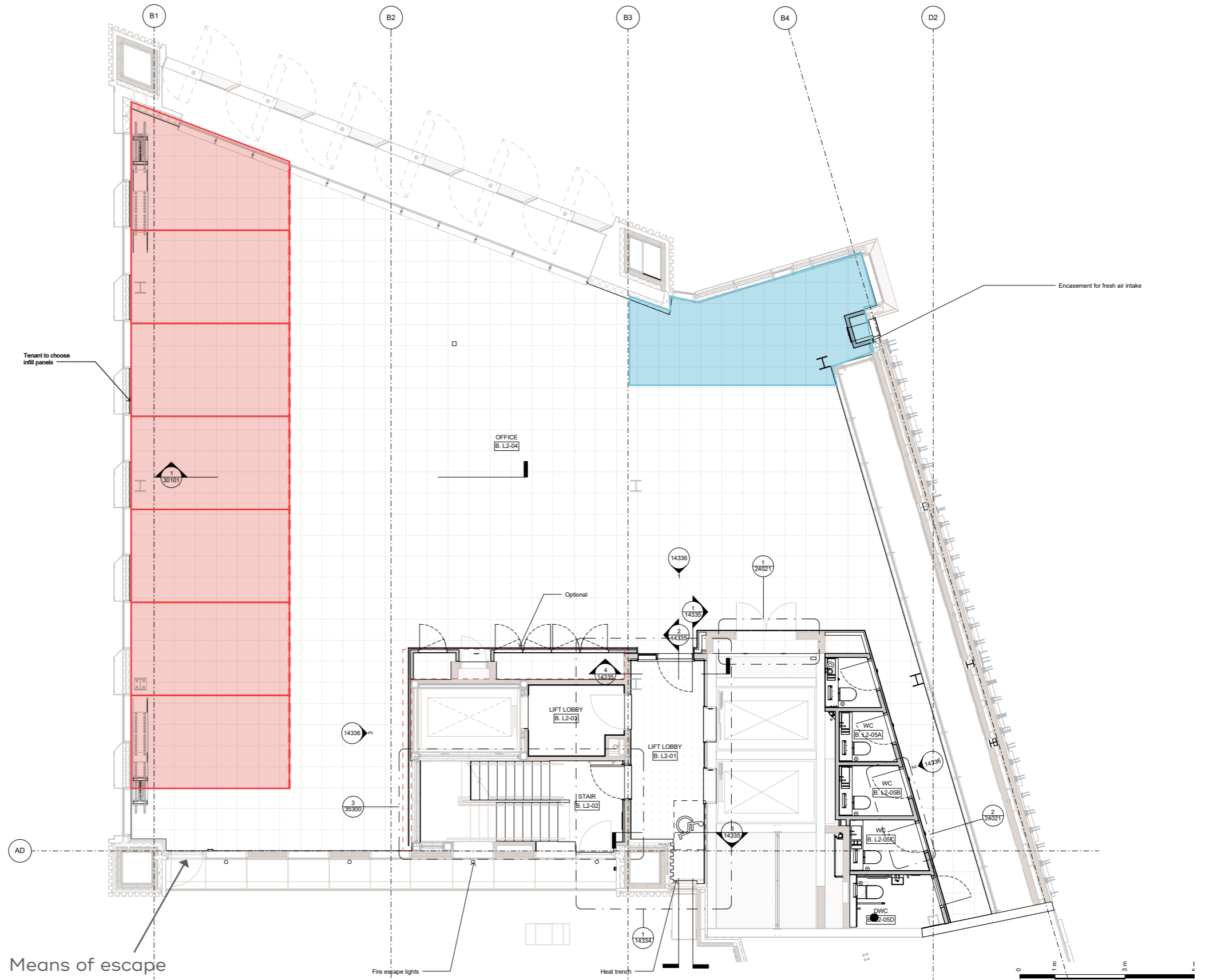
Superloo: 4

DWC: 1

## Key

 Cellular Office

 Meeting



# RCP

Level 2 & 3



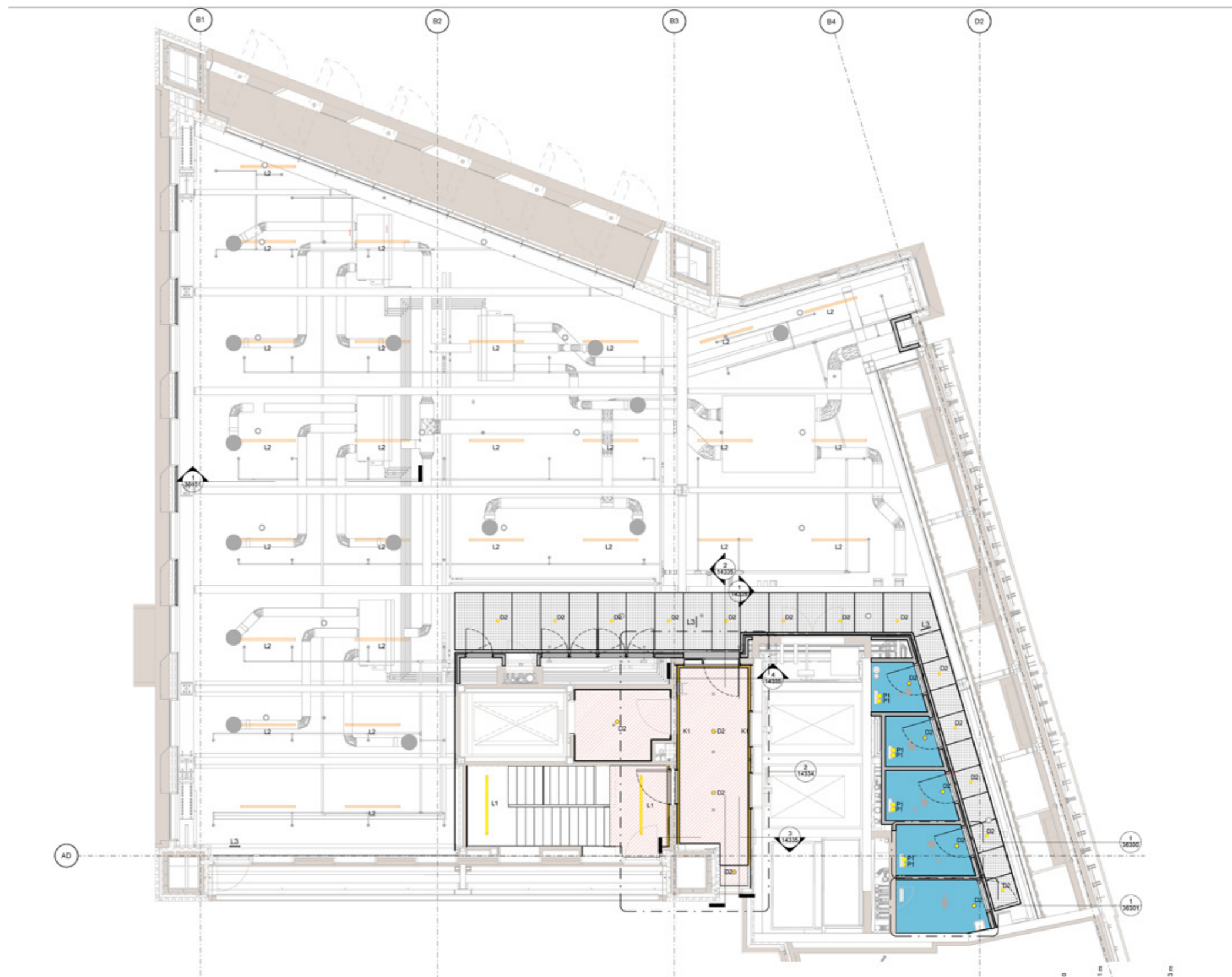
D2: Atelje-lyktan - Blaze  
Deep IP44 Black



L2: STILO LEDIZ D100

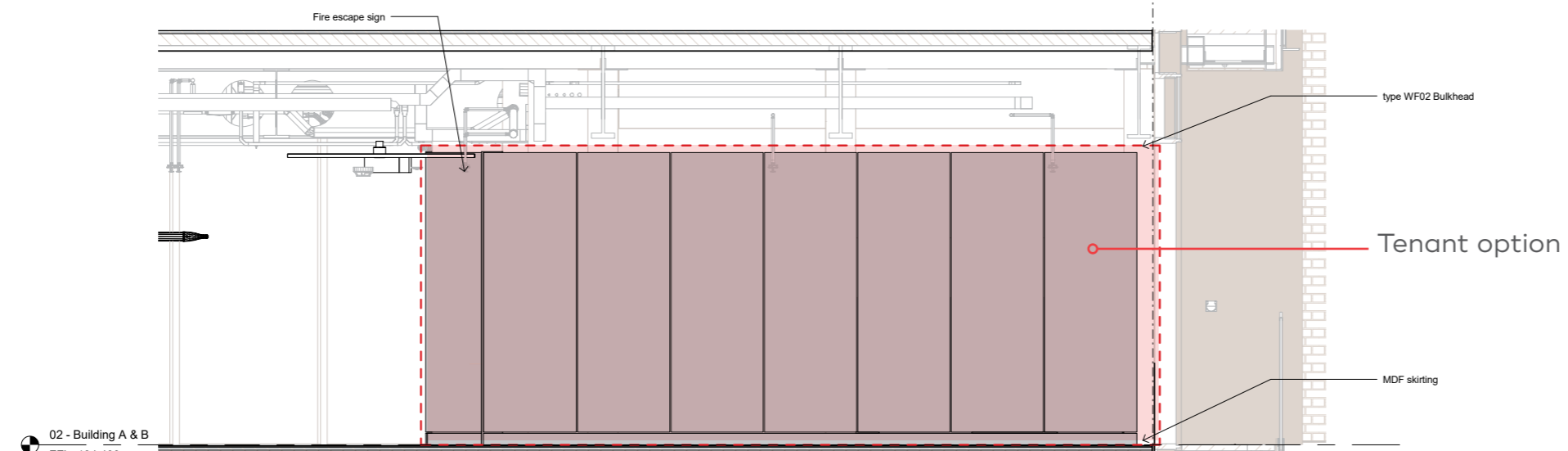
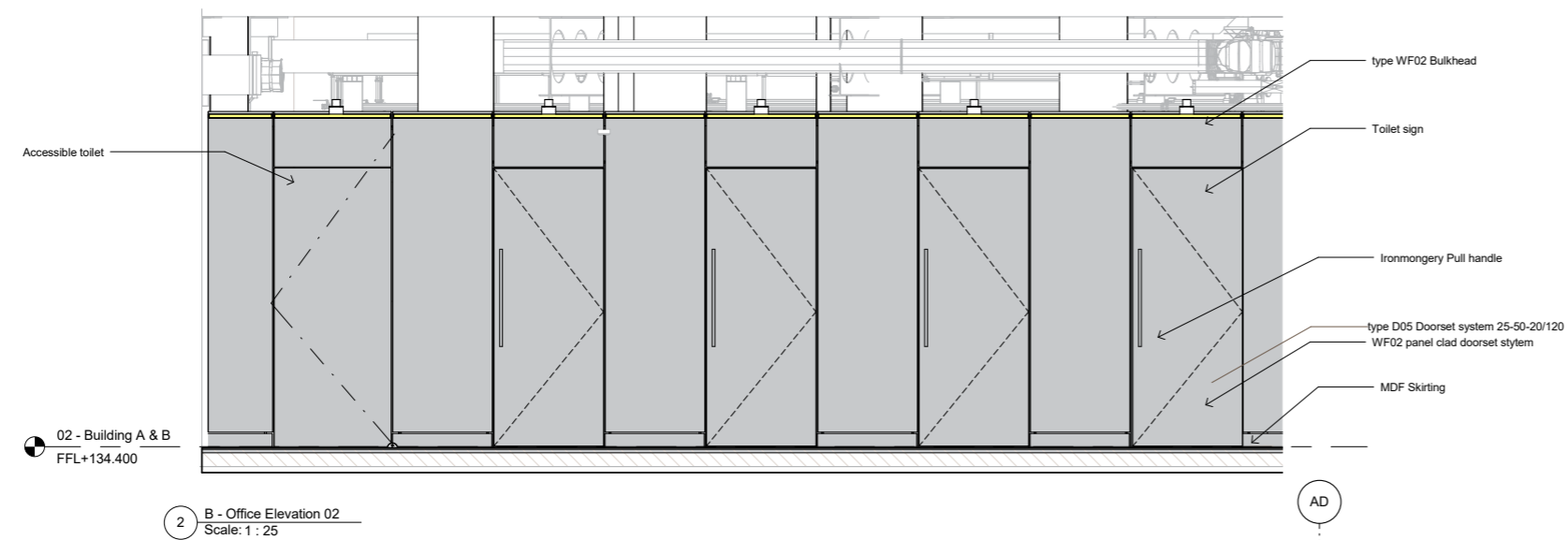
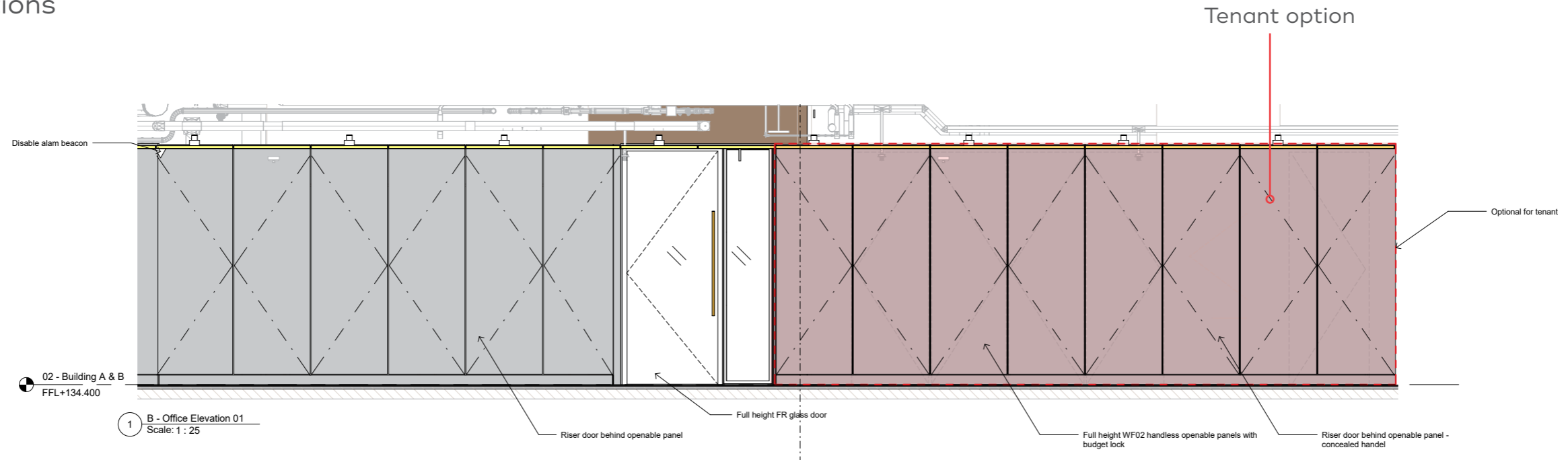


P1: Tala, Voronoi I



# Office - 2 St Giles Square

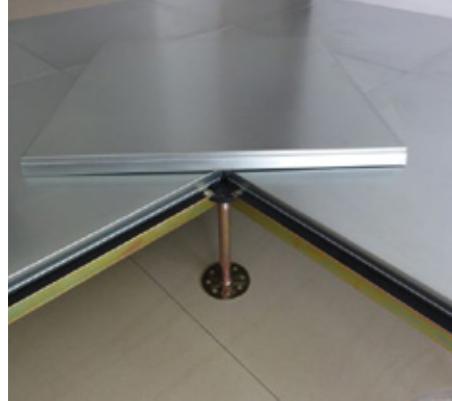
Internal elevations





# Office - 2 St Giles Square

Finishes



1. Base build Raised floor



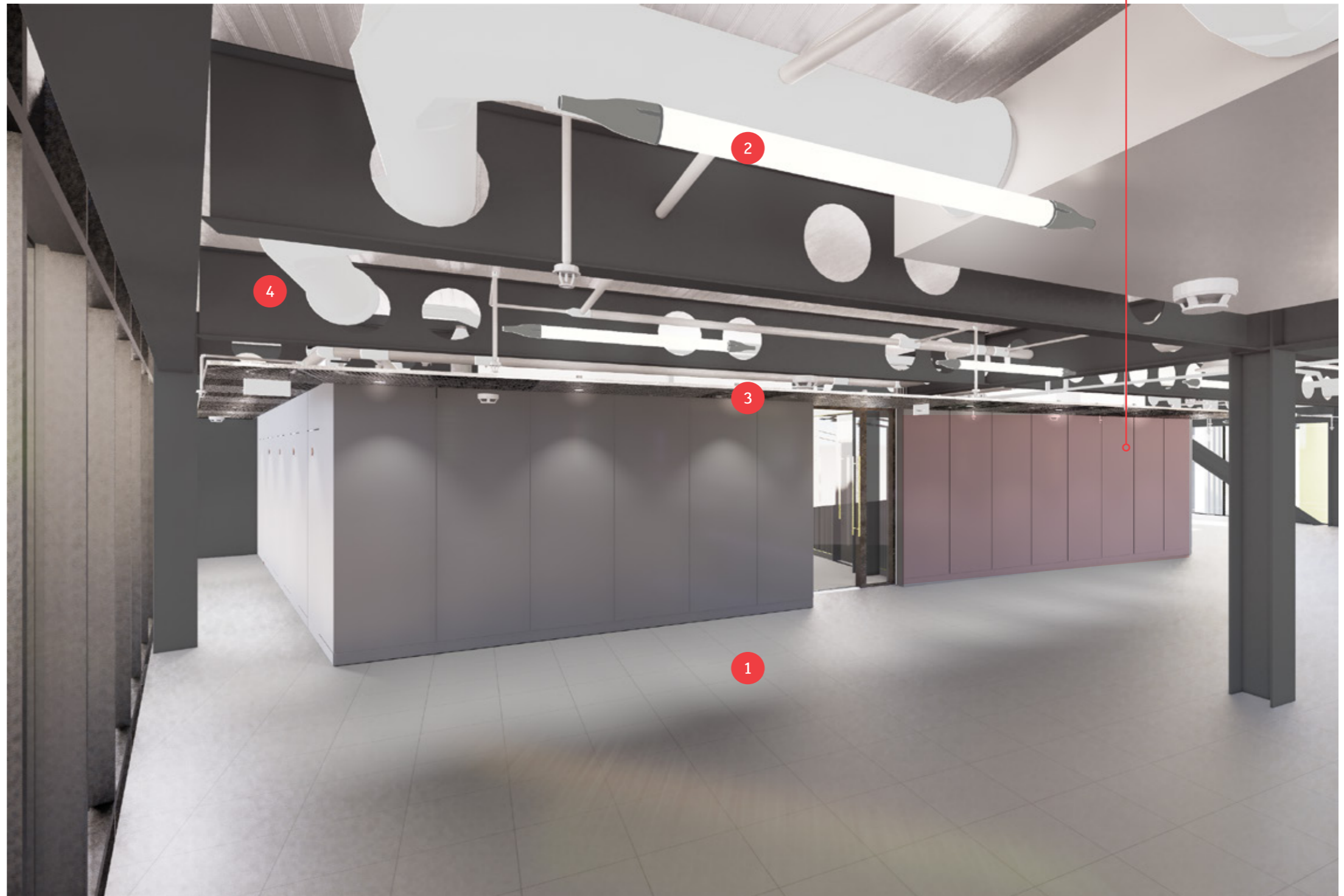
2. Base Build beams and soffit



3. Valchromat panels



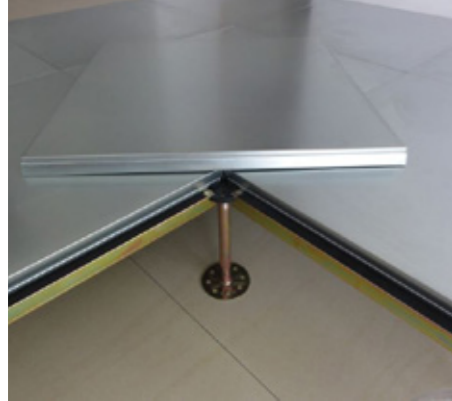
4. SAS Expanded metal mesh ceiling raft



Client option

# Office - 2 St Giles Square

Finishes



1. Base build Raised floor



2. Base Build beams and soffit



3. Valchromat panels



4. SAS Expanded metal mesh ceiling raft

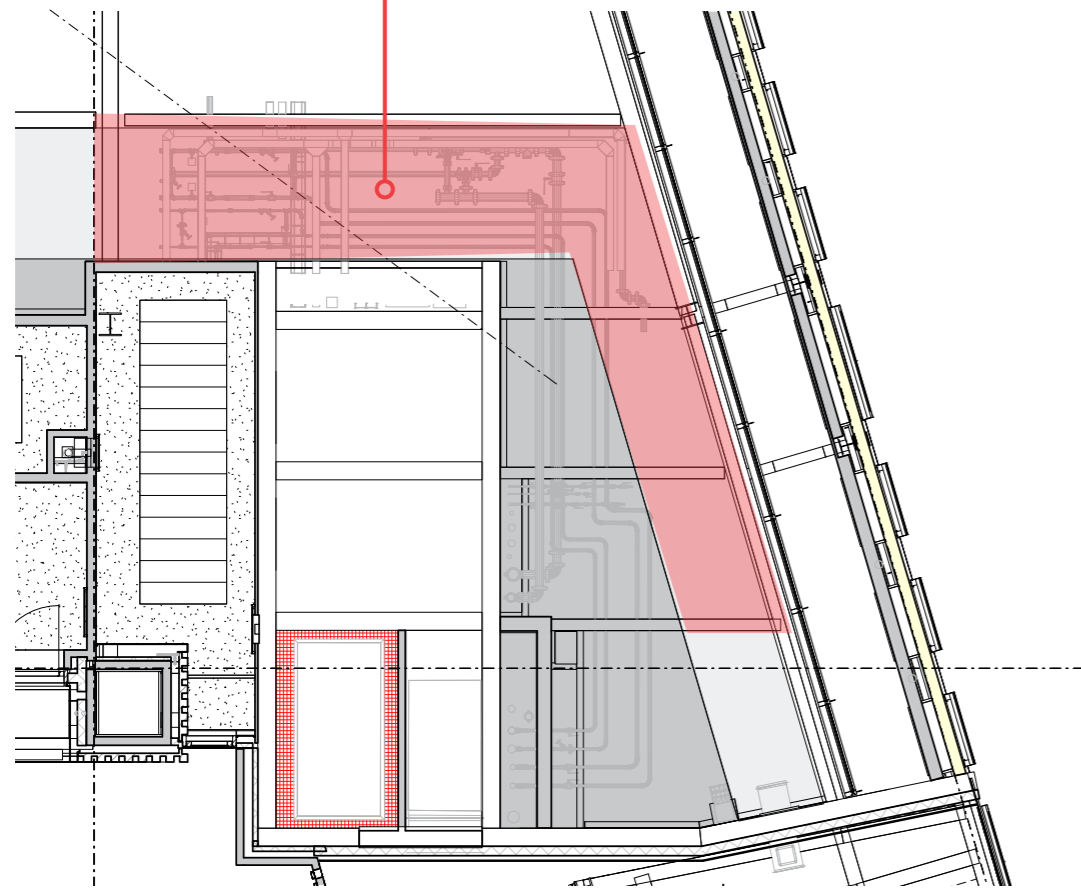


Tenant option

# Office Core

Fit Out - Services Bulkhead

Base build Services



SAS black mesh Raft to conceal base build services

Base build services

